



## Winsome

Lower High Street,  
Wadhurst, East Sussex



An individual 4-bedroom detached modern village house, situated in an elevated position in the heart of the village within easy walking distance of local amenities. NO CHAIN.

## Guide price £725,000 - £750,000 Freehold

**Situation:** The property is situated in a convenient position in the sought after village of Wadhurst, voted the Best Place to Live in 2023, and is within easy walking distance of the High Street. The village offers an excellent range of shops and services for everyday needs including a Jemson's Local store and post office, cafés, delicatessen, butcher, baker, pharmacy, bookshop, art gallery, florist, public houses, as well as a doctor's surgery, dentist, state and independent primary schools and the well-regarded Uplands Community College and Sports Centre.

For the commuter, Wadhurst mainline station is approximately 1½ miles distant and provides a regular service to London Bridge/Charing Cross/Cannon Street in just over an hour. There is a regular bus service and the A21 is also within easy reach providing a direct link to the M25 (junction 5) and the coast. Gatwick Airport is about 40 miles to the west, the Eurotunnel terminal at Folkestone is about 46 miles to the east and central London is about 50 miles away. The regional centre of Tunbridge Wells is just 6½ miles distant and provides a comprehensive range of amenities including the Royal Victoria Shopping centre, cinema complex and theatres.

The beautiful surrounding countryside is a designated Area of Outstanding Natural Beauty and includes Bewl Water Reservoir, reputedly the largest area of inland water in the Southeast, where a wide range of water sports can be enjoyed.

**Description:** Winsome is a modern detached house built about 40 years ago with brick and tile hung external elevations beneath a tiled roof and double-glazed windows and doors throughout. The property is well presented and has been well maintained, yet offers scope for some updating and remodelling, if required. The house offers light, spacious and flexible accommodation of approximately 1699sq.ft/157.8sq.m (including the integral garage).

The accommodation is arranged over two floors and includes on the ground floor: a very spacious entrance hall with stairs to the first floor and doors leading to a WC, a dining room and glazed doors leading to a large, triple aspect sitting room, which extends to 23'9 and has a brick fireplace fitted with a gas fire, enjoys an outlook over the front garden and has sliding doors leading out the rear garden. There are glazed doors leading to a dining room with a window overlooking the rear garden and doors to the entrance hall and a well-appointed kitchen, which is fitted with an extensive range of gloss wall and base units, a range cooker with extractor hood, space for appliances, window overlooking the rear garden, door leading out to the side and further door leading to the garage. On the first floor there is a generous landing leading to four double bedrooms (all having built in cupboards), a good-sized family bathroom and an ensuite shower room.

Outside, a recently replaced tarmac driveway provides plenty of parking with an attractive of front garden which is laid to lawn with mature shrubs and a mature beech and yew tree. There is gated access with on both sides of the house with an area of lawn on one side and a good-sized private terraced garden to the rear. The garden is fully fenced and enjoys a southwest facing aspect. There is also a garden shed and summerhouse with power connected.

**Services:** Mains water and electricity. Gas central heating.

**EPC rating:** C

**Local authority:** Wealden District Council (01892) 653311

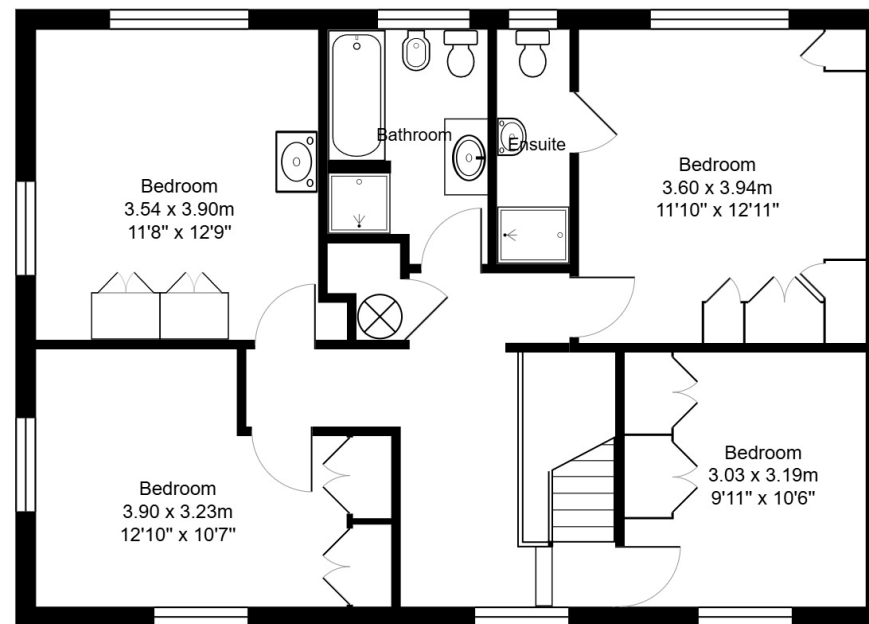
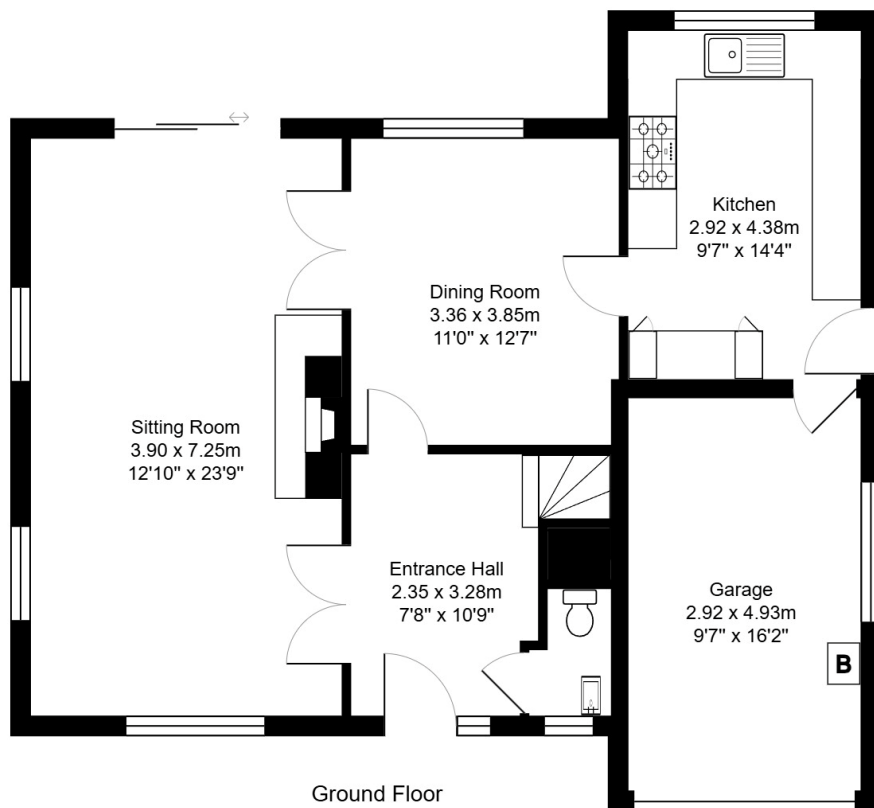
**Council tax rating:** Band F (2025/26 - £3,724.94)

**Property address:** Winsome, Lower High Street, Wadhurst, East Sussex TN5 6BB



01892 786720 [www.greenlizardhomes.co.uk](http://www.greenlizardhomes.co.uk)

Office open: Monday to Friday 9am to 5.30pm, Saturday 10am to 4pm Viewings: 7 days a week



**Total Area: 157.8 m<sup>2</sup> ... 1699 ft<sup>2</sup>**

All measurements are approximate and for display purposes only.



#### Important notice:

These details have been produced as a general guide only. All descriptions, photographs, dimensions, reference to condition and necessary permissions for use and occupation and other details are given in good faith and believed to be correct, but any intending purchasers or tenants should not rely on them as statements or representations of fact. The agents have not tested any apparatus, equipment, fittings or services so cannot verify that they are in working order. The buyer is advised to obtain verification from their solicitor or surveyor. Items shown in photographs are not necessarily included in the sale. Room measurements are given for guidance only and should not be relied upon when ordering such items as furniture, appliances or carpets. Descriptions of any property are obviously subjective and the descriptions contained herein are used in good faith as an opinion.





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